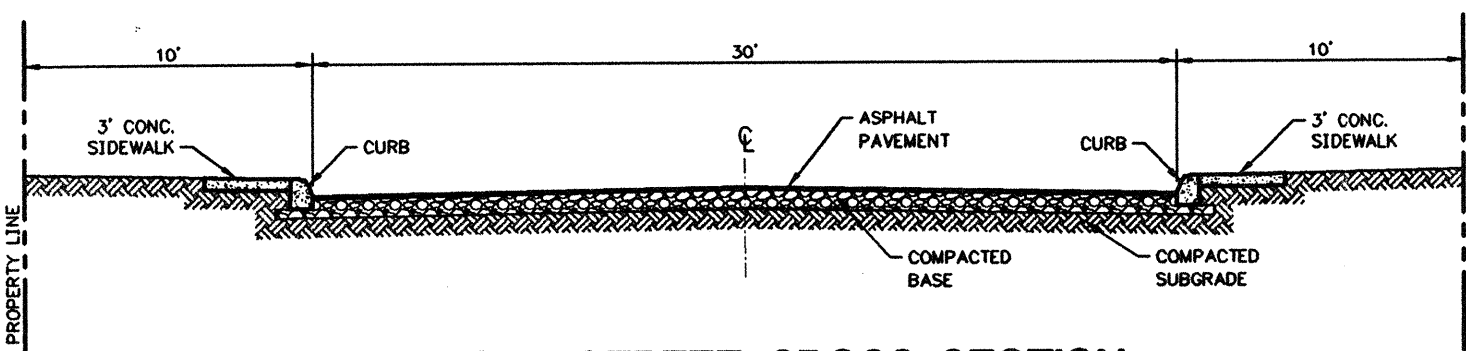


CURVE TABLE				
CURVE	RADIUS	DELTA	TANGENT	LENGTH
C1	22.00'	81°09'47"	25.48'	39.75'
C2	245.00'	0°21'33"	75.49'	150.87'
C3	22.00'	81°09'47"	25.48'	39.75'

SCALE: 1" = 100'

NOTE:
FOR THE STREETS OTHER THAN LOCAL TYPE "A" STREETS, THE EDGE OF THE SIDEWALK MUST BE LOCATED A MINIMUM OF (2) FEET AWAY FROM THE BACK OF THE CURB.



TYPICAL STREET CROSS-SECTION
(N.T.S.)

SUMMARY

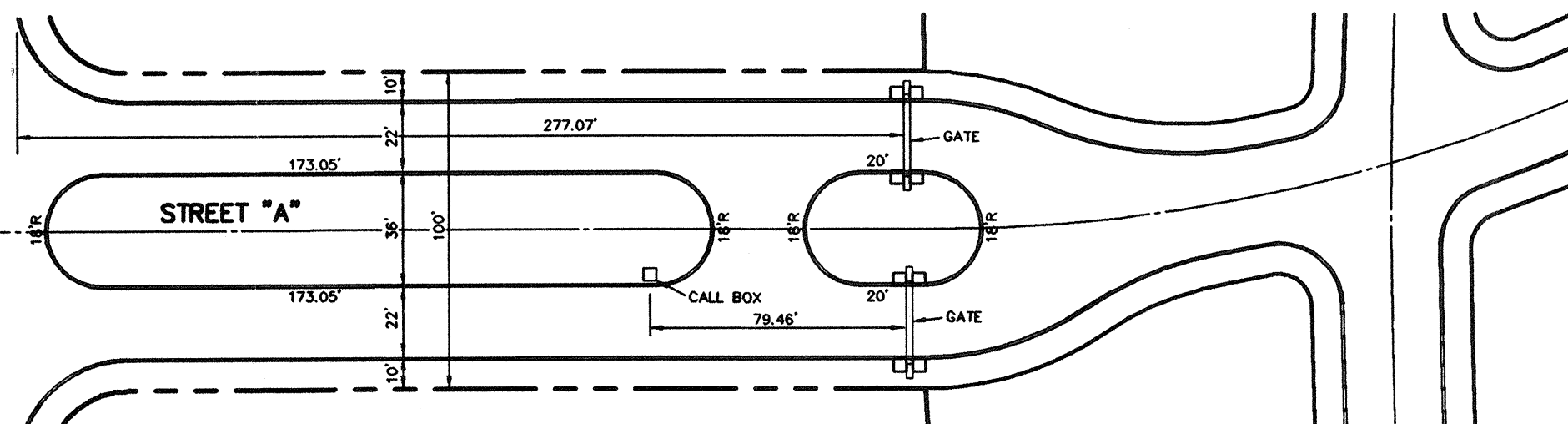
No. OF LOTS: 149 LOTS
ACREAGE: 40.58 Ac.
AVG. DENSITY: 3.67 DU/Ac.

OWNER & APPLICANT

JEN JEF, INC.
15114 JONES MALTSBERGER STE. 3
SAN ANTONIO, TEXAS 78247
CONTACT PERSON: CHUCK JAPHET
PHONE: (210) 495-7024
FAX: (210) 495-8641

ENGINEER

M.W. CUDE ENGINEERS, L.L.C.
10325 BANDERA ROAD
SAN ANTONIO, TEXAS 78250
PHONE: (210) 681-2951
FAX: (210) 523-7112



ENTRY GATE DETAIL
1"=50'

PROPERTY DESCRIPTION :

40.583 ACRES OF LAND IN THE CITY OF SAN ANTONIO, N.C.B. 19219 OUT OF A 52.261 ACRE TRACT OF LAND AS DESCRIBED BY DEED FILED IN DOCUMENT NO. 2001-0053524 OUT OF A 99.028 ACRE TRACT DESIGNATED AS TRACT VII DESCRIBED BY DEED RECORDED IN VOLUME 7398, PAGE 1738 WITH BOTH OUT OF THE REAL PROPERTY RECORDS OF BEXAR COUNTY, TEXAS AND OUT OF THE EUGENE DE LA ROCHA SURVEY NO. 95, ABSTRACT NO. 633, COUNTY BLOCK 4924, BEXAR COUNTY, TEXAS.

TYPICAL 80' x 90' INTERSECTION (W=80')

TWO WAY - EQUATION D $R_1 = 0.65(1SD_2) - (W/2 + K_0)$

1SD₂: 480 L.F.
W: 80 L.F.
K₀: 2
R₁: 270 L.F.

TWO WAY - EQUATION A $L_1 = 13(1SD_1)/(13 + (W/2) + K_A) - 4$

1SD₁: 300 L.F.
W: 80 L.F.
K_A: 7
L₁: 65 L.F.

TYPICAL 80' x 90' INTERSECTION (W=90')

TWO WAY - EQUATION D $R_1 = 0.65(1SD_2) - (W/2 + K_0)$

1SD₂: 300 L.F.
W: 90 L.F.
K₀: 2
R₁: 173 L.F.

TWO WAY - EQUATION A $L_1 = 13(1SD_1)/(13 + (W/2) + K_A) - 4$

1SD₁: 480 L.F.
W: 90 L.F.
K_A: 7
L₁: 84 L.F.

INCLUDES: STREET "A" @ STONE OAK PARKWAY

TYPICAL 30' x 30' INTERSECTION

TWO WAY - EQUATION D $R_1 = 0.65(1SD_2) - (W/2 + K_0)$

1SD₂: 300 L.F.
W: 30 L.F.
K₀: 2
R₁: 178 L.F.

TWO WAY - EQUATION A $L_1 = 13(1SD_1)/(13 + (W/2) + K_A) - 4$

1SD₁: 300 L.F.
W: 30 L.F.
K_A: 2
L₁: 108 L.F.

INCLUDES: STREET "A" @ STREET "B"
STREET "A" @ STREET "D"
STREET "A" @ STREET "F"
STREET "A" @ STREET "G"
STREET "E" @ STREET "D"

ENVIRONMENTAL RECOMMENDATIONS

- The following are recommendations put forth to address the environmental concerns raised by the construction of this development on the Edwards Aquifer Recharge Zone:
- Prior to release of any building permits, the owner/operator of any Category 2 property shall obtain a Letter of Certification from the Watershed Protection and Management Department of the San Antonio Water System.
 - All land uses shall be in conformance with the table of permitted uses at the time the zoning is approved by City Council. If the proposed use is listed as requiring special City Council approval, the owner/operator shall apply for re-zoning for that particular use. If the land use is listed as prohibited, that land use shall not be permitted.
 - For areas using on-site sewage facilities, the owner, prior to installation, is required to obtain approval of a site specific design (which meets Bexar County On-Site Sewage Regulation) for conditions unique to that lot. The on-site sewage facilities will be installed and maintained properly.
 - Curb Cove, Bear Cove, Hornet's Last Lough Pit and Pendulum Pit shall remain open with a buffer zone designed according to the criteria contained in Sec. 34-802 of Ordinance No. 81491 or other approved criteria. The calculations for determining the buffer zone around the coves shall be submitted to and approved by SANS prior to the commencement of construction. The cove may be buffered by having the cove surrounded by a greenbelt and/or conservation easement.
 - All abandoned wells or improperly plugged wells shall be plugged in accordance with the San Antonio Water Code.
 - All properties containing any portion of the 100-year floodplain, which have not been plotted shall have a 60 foot buffer zone adjacent to and outside the 100-year floodplain. The buffer zone shall consist of a no-build zone and should be left in a natural condition.
 - Prior to the release of any building permits for additional developments, the following shall be submitted to the Aquifer Studies Division of the San Antonio Water System:
A. A Water Pollution Abatement Plan shall be submitted for each particular development/use within the area being considered for re-zoning.
B. A set of site specific plans which must have a signed Engineers Seal from the State of Texas.
C. A letter from the Texas Natural Resource Conservation Commission approving each Water Pollution Abatement Plan.
D. A copy of the approved Water Pollution Abatement Plan.
 - Landscaped areas shall be sensitive to minimizing water needs (i.e. use of native plants). The owner/operator of this development and each purchaser or occupant of an individual lot within this development shall be informed in writing about best management practices of pesticide and fertilizer application, Preventing Groundwater Pollution, A Practical Guide to Pest Control, available from the Edwards Aquifer Authority (210/222-2204), or equivalent information produced by recognized authorities such as the Soil Conservation Service, Texas Department of Agriculture, U.S. Department of Agriculture, etc. shall be used.
 - The storage, handling, use and disposal of all over the counter hazardous materials within this development shall be consistent with the labeling of those materials. Failure to comply with the label warnings may constitute a violation of Federal Law.
 - The City of San Antonio shall inspect all future construction of service laterals and sewer mains for proper construction according to State and City Regulations and Code.
 - If any solution openings, coves, sinkholes, or wells are found during the excavation, construction, or blasting, the developer shall notify the Texas Natural Resource Conservation Commission at (210) 491-2066 and the Aquifer Studies Division of the San Antonio Water System at (210) 704-7392.
 - The Aquifer Studies Division staff shall have the authority to inspect the site to ensure that the approved recommendations are being strictly adhered to during and after construction of the project.

NOTES:

- IF ACCESS TO A GARAGE OR CARPORT IS PROVIDED FROM THE FRONT OR SIDE OF A LOT, THEN THE GARAGE/CARPORT SHALL MAINTAIN A TWENTY (20) FOOT SETBACK FROM THE BACK OF THE SIDEWALK OR CURB IF THERE IS NO SIDEWALK, AS MEASURED ALONG THE CENTERLINE OF THE DRIVEWAY.
- ALL CORNER LOTS COMPLY WITH THE CLEAR VISION AREA REQUIREMENTS OF SECTION 35-3339 OF THE UNIFIED DEVELOPMENT CODE.
- ALL INTERIOR PRIVATE STREETS ARE 50' RIGHT-OF-WAY WITH 30' PAVEMENT.

DENSITY AND OPEN SPACE

BASE ZONING DISTRICT: P1, R1
MAXIMUM DENSITY ALLOWED: 8 UNITS / ACRE
PROPOSED DENSITY: 3.67 UNITS / ACRE
MINIMUM REQUIRED PERCENTAGE OF OPEN SPACE ALLOWED: 35%
PROPOSED PERCENTAGE OF OPEN SPACE: 52.73%
TOTAL SPACE: 40.583 ACRES (1,767,795 S.F.)

STREET / SAFETY LANE R.O.W.: 376,663 S.F.
DRIVEWAY: 56,240 S.F.
DRAINAGE ESMT.: 3,133 S.F.
OUTDOOR STORAGE AREA: 0 S.F.
MECHANICAL EQUIPMENT: 0 S.F.
HOUSE SLABS: 399,600 S.F.
(120' x 65' = 2,700 S.F.)

OCCUPIED OPEN SPACE: 835,636 S.F. (19,184 ACRES)
NET OPEN SPACE: 932,159 S.F. (21,399 ACRES)
TOTAL SPACE: 1,767,795 S.F. (40.583 ACRES)
OPEN SPACE PERCENTAGE: 52.73%

CANYONS AT STONE OAK SUBDIVISION PLANNED UNIT DEVELOPMENT



M.W. CUDE ENGINEERS, L.L.C.
CIVIL ENGINEERS & SURVEYORS

10325 BANDERA ROAD
SAN ANTONIO, TEXAS 78250
(210) 681-2951

INFO@MWCUDE.COM
WWW.MWCUDE.COM
FAX: (210) 523-7112

DRAWN BY:	M.E.E.	DATE:	4/24/01	SHEET	1 OF 1
CHECKED BY:	I.J.C.	JOB NO.:	107673		

#01-010



A memo from the
CITY of SAN ANTONIO
Planning Department
Master Development

TO: Ron Valentin

DATE: April 10, 2002

FROM: Michael O. Herrera, Senior Planner

COPIES TO: File

SUBJECT: # 01-010

Name: Canyons at Stone Oak

The plat or plan referenced above was heard by the ☒ Planning Commission

☐ Director of Planning COSA

on the date shown.

The following action was taken:

☒ APPROVED
☐ DISAPPROVED

A plat will not be recorded pending site improvements, the required guarantee is posted or payment of impact fees are paid (or filed).

If you have any questions regarding please call Mr. Michael O. Herrera @ 207-7873